

# Cloncurry Shire Council

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Cloncurry QLD 4824  
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Website: www.cloncurry.qld.gov.au

Our ref: DI&E:LT – TP15/23

25 September 2023

Arid to Oasis Solutions Pty Ltd  
T/a Auzscot Constrictions  
PO Box 377  
CLONCURRY QLD 4824  
**Email:** katie@auzscotconstructions.com.au

Dear Katie

**REFERRAL AGENCY RESPONSE — SITING DISPENSATION – 30 RAILWAY STREET, ALSO KNOWN AS LOT 2 ON SP334257, CLONCURRY, APPROVAL (WITH CONDITIONS)**  
(Given under section *under section 63(2) of the Planning Act 2016*)

The development application described below was properly made to the Cloncurry Shire Council on 8 September 2023.

This application was approved in full, with conditions, under Delegated Authority of the Chief Executive Officer.

## Applicant details

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Applicant name: Arid to Oasis Solutions Pty Ltd T/a Auzscot Constrictions  
Applicant contact details: Katie Robb  
C/-PO Box 377  
CLONCURRY QLD 4824

## Application details

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Application number: TP15/23  
Approval sought: Development Permit  
Nature of development proposed: Referral Agency for Building Work – Referral Response  
Details of proposed development: Required siting of a permanent structure, being a dwelling house less than 1.5m from the eastern side boundary,  
Category of assessment: Code Assessment

## Location details

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Street address: 30 Railway Street, Cloncurry  
Real property description: Lot 2 on SP334257  
Local government area: Cloncurry Shire

## Decision

Date of decision: 19 September 2023

## Details of the approval

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Development permit Referral Agency for Building Work – Referral Response

## RESOLUTION 286.2023

**Moved:** Cr Greg Campbell

**Seconded:** Cr Sam Daniels

That the Development application TP15/23 seeking approval for Siting Dispensation for a permanent structure, being a residential dwelling less than 1.5m from the eastern side boundary, at 30 Railway Street, Cloncurry also known as Lot 2 on SP334257, be approved subject to the conditions set out in the Conditions of Approval.

**In Favour:** Cr Greg Campbell, Cr Sam Daniels, Cr Vicky Campbell, Cr Nathan Keyes

**Against:** None

**Ineligible:** None

**CARRIED**

## Conditions

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This approval is subject to the conditions in Attachment 1.

## Further development permits

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Please be advised that the following development permits are required to be obtained before the development can be carried out:

1. Building Approval
2. Plumbing Approval

## Properly made submissions

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Not applicable—No part of the application required public notification.

## Rights of appeal

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The rights of applicants to appeal to a tribunal or the Planning and Environment Court against decisions about a development application are set out in chapter 6, part 1 of the *Planning Act 2016*. For particular applications, there may also be a right to make an application for a declaration by a tribunal (see chapter 6, part 2 of the *Planning Act 2016*).

A copy of the relevant appeal provisions is attached.

## Currency period for the approval

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Pursuant to section 54 (4) of the *Planning Act 2016*, you will not be required to refer your building work application on to Council for any additional Referral Agency Response if:

- (a) You submit this referral agency response in its entirety, including all referenced plans and documents, when making the application to the Assessment Manager;
- (b) There are no changes to the proposal that was presented to Council with this referral; and
- (c) The development application to the Assessment Manager is made within 24 months of the date of this referral agency response.

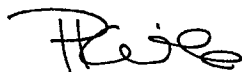
**Approved plans, specifications and drawings**

A copy of the following plans is enclosed.

Plan Name	Plan No.	Revision No.	Plan/Revision Date
Colour & Materials			
Site Plan	WD03	A	07/08/2023
Floor Plan	WD05	A	07/08/2023
Elevations	WD06	A	07/08/2023
Elevations	WE07	A	07/08/2023
Typical Section	WD15	A	07/08/2023
Electrical Plan	WD19	A	07/08/2023

Should you have any questions or concerns in respect of this matter please contact Council's Senior Town Planner, Larinda Turrell at this office.

Yours faithfully



Philip Keirle  
Chief Executive Officer

- Encl: Attachment 1 - Conditions of Approval  
Attachment 2 - Statement of Reasons  
Attachment 3 - Appeal provisions  
Attachment 4 - Approved plan

## ATTACHMENT 1 – CONDITIONS OF APPROVAL

<b>NATURE OF DECISION</b>																																			
<p><b>A</b> This approval is subject to the following conditions, the facts set out in the application and all relevant Council provisions of the <i>Cloncurry Shire Planning Scheme 2016</i> and the provision of the <i>Planning Regulation 2017</i> for design and siting (Schedule 9, Part 3, Division 2, Table 3).</p>																																			
<b>GENERAL</b>																																			
<p><b>1. Site Layout</b></p> <p>(a) The development must generally comply with the approved proposal plans and design drawings as referenced in the table below, which forms part of this application, except as otherwise specified by any condition of this approval.</p>																																			
<table border="1"> <thead> <tr> <th>Plan Name</th> <th>Plan No.</th> <th>Revision No.</th> <th>Plan/Revision Date</th> </tr> </thead> <tbody> <tr> <td>Colour &amp; Materials</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Site Plan</td> <td>WD03</td> <td>A</td> <td>07/08/2023</td> </tr> <tr> <td>Floor Plan</td> <td>WD05</td> <td>A</td> <td>07/08/2023</td> </tr> <tr> <td>Elevations</td> <td>WD06</td> <td>A</td> <td>07/08/2023</td> </tr> <tr> <td>Elevations</td> <td>WE07</td> <td>A</td> <td>07/08/2023</td> </tr> <tr> <td>Typical Section</td> <td>WD15</td> <td>A</td> <td>07/08/2023</td> </tr> <tr> <td>Electrical Plan</td> <td>WD19</td> <td>A</td> <td>07/08/2023</td> </tr> </tbody> </table>				Plan Name	Plan No.	Revision No.	Plan/Revision Date	Colour & Materials				Site Plan	WD03	A	07/08/2023	Floor Plan	WD05	A	07/08/2023	Elevations	WD06	A	07/08/2023	Elevations	WE07	A	07/08/2023	Typical Section	WD15	A	07/08/2023	Electrical Plan	WD19	A	07/08/2023
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<p><b>2. Compliance with conditions</b></p> <p>(a) All conditions must be complied with prior to the commencement of the use, unless specified in an individual condition.</p> <p>(b) The conditions of this development approval are to be read in conjunction with the approved plans /drawings/ documents at all times. Where a conflict occurs between the conditions of this approval and the approved plans / documents, the conditions of this development approval shall prevail.</p>																																			
<p><b>3. Currency Period</b></p> <p>This Referral Agency Response in its entirety, including all referenced plans and documents, must be submitted with a building application to the relevant Assessment Manger within two (2) years of the date of this Referral Agency Response.</p>																																			
<p><b>4. Lawful Point of Discharge</b></p> <p>(a) Ensure water run-off from the roof of the type of structure is directed into own property and does not cause ponding or a nuisance to adjoining properties;</p> <p>(b) Where retain walls, fences, buildings or other barriers which would cause a damaging effect and produce a concentrated flow at an outfall are constructed, a Stormwater Disposal System is to be installed to the structure to pipe all water run-off from the structure to the kerb.</p> <p>(c) The system shall be of a design and capacity sufficient to discharge all run-off to the kerb without causing nuisance to adjoining properties.</p>																																			
<p><b>5. Building works</b></p> <p>(a) The proposed structure requires a development permit for building works.</p> <p>(b) The applicant is to seek and comply with all relevant building approvals to be issued by a qualified Building Certifier.</p>																																			
<p><b>6. Damage to Infrastructure</b></p> <p>(a) If any part of Council’s existing water, channel and kerbing, or road infrastructure is damaged as a result of constitution activities occurring on the site associated with the proposed structure, including but not limited to, mobilisation of heavy machinery and equipment, the owner/applicant must notify Council immediately of the affected infrastructure and have it repaired or replace by Council at the owner/applicants cost.</p> <p>(b) The applicant/owner is to be aware that, in granting this approval, Council has not taken into account the location of the subject private property’s internal house drainage; this is the applicant/owner’s responsibility.</p>																																			

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| <p>7. The applicant/owner is to be aware that, in granting this approval, Council has not taken into account the location of the subject private property's internal house drainage; this is the applicant/owner's responsibility;</p>   |
| <p>8. Approval of the proposed structure is given on the basis that the building is used in connection with the existing dwelling. Use of the proposed structure in connection with any commercial business is subject to the Cloncurry Shire Planning Scheme 2016 of the low impact industry zone code. At all times the principal use of the property must remain residential.</p> |

## ATTACHMENT 2 - STATEMENT OF REASONS – TP15/23

### NOTICE ABOUT DECISION - STATEMENT OF REASONS

The following information is provided in accordance with section 63(5) of the *Planning Act 2016*

Development application TP15/23 was received from Arid to Oasis Solutions Pty Ltd T/a Auzscot Constructions on behalf of Cloncurry Shire Council requesting siting of a permanent structure, being a residential dwelling, for 30 Railway Street, Cloncurry, requesting siting less than 1.5m from the eastern side boundary, for residential purposes.

On the 19 September 2023, the above development application was approved in full, with conditions.

#### Reasons for the decision

The proposed is a permanent structure, being a dwelling house.

The extent of non-compliance with the minimum setback of 1.5m is assessed as being unlikely to impact on the adjoining property in terms of amenity and privacy.

Subject to the imposition of the development conditions contained within the Decision Notice, the development can comply with the following applicable Assessment Benchmarks against which the application was required to be assessed.

#### 1. Assessment benchmarks

The following are the benchmarks applying for this development:

Benchmarks applying for the development	Benchmark reference
<b>Queensland Development Code:</b> <b>P2 Buildings and structures –</b> (a) provide adequate daylight and ventilation to <i>habitable</i> rooms; and (b) allow adequate light and ventilation to <i>habitable</i> rooms of <i>buildings</i> on adjoining <i>lots</i> . (c) do not adversely impact on the amenity and privacy of residents on adjoining <i>lots</i> .	The proposed dwelling house is not considered to impact on access to natural light, sunlight and does not create overbearing development for the adjoining dwelling house nor their open space and does not impact on the amenity and privacy.

## Chapter 6 Dispute resolution

### Part 1 Appeal rights

#### 229 Appeals to tribunal or P&E Court

- (1) Schedule 1 states—
  - (a) matters that may be appealed to—
    - (i) either a tribunal or the P&E Court; or
    - (ii) only a tribunal; or
    - (iii) only the P&E Court; and
  - (b) the person—
    - (i) who may appeal a matter (the *appellant*); and
    - (ii) who is a respondent in an appeal of the matter; and
    - (iii) who is a co-respondent in an appeal of the matter; and
    - (iv) who may elect to be a co-respondent in an appeal of the matter.
- (2) An appellant may start an appeal within the appeal period.
- (3) The *appeal period* is—
  - (a) for an appeal by a building advisory agency—10 business days after a decision notice for the decision is given to the agency; or
  - (b) for an appeal against a deemed refusal—at any time after the deemed refusal happens; or
  - (c) for an appeal against a decision of the Minister, under chapter 7, part 4, to register premises or to renew the registration of premises—20 business days after a notice is published under section 269(3)(a) or (4); or
  - (d) for an appeal against an infrastructure charges notice—20 business days after the infrastructure charges notice is given to the person; or
  - (e) for an appeal about a deemed approval of a development application for which a decision notice has not been given—30 business days after the applicant gives the deemed approval notice to the assessment manager; or
  - (f) for any other appeal—20 business days after a notice of the decision for the matter, including an enforcement notice, is given to the person.

*Note—*

See the P&E Court Act for the court's power to extend the appeal period.

- (4) Each respondent and co-respondent for an appeal may be heard in the appeal.
- (5) If an appeal is only about a referral agency's response, the assessment manager may apply to the tribunal or P&E Court to withdraw from the appeal.

- (6) To remove any doubt, it is declared that an appeal against an infrastructure charges notice must not be about—
  - (a) the adopted charge itself; or
  - (b) for a decision about an offset or refund—
    - (i) the establishment cost of trunk infrastructure identified in a LGIP; or
    - (ii) the cost of infrastructure decided using the method included in the local government's charges resolution.

**230 Notice of appeal**

- (1) An appellant starts an appeal by lodging, with the registrar of the tribunal or P&E Court, a notice of appeal that—
  - (a) is in the approved form; and
  - (b) succinctly states the grounds of the appeal.
- (2) The notice of appeal must be accompanied by the required fee.
- (3) The appellant or, for an appeal to a tribunal, the registrar, must, within the service period, give a copy of the notice of appeal to—
  - (a) the respondent for the appeal; and
  - (b) each co-respondent for the appeal; and
  - (c) for an appeal about a development application under schedule 1, table 1, item 1—each principal submitter for the development application; and
  - (d) for an appeal about a change application under schedule 1, table 1, item 2—each principal submitter for the change application; and
  - (e) each person who may elect to become a co-respondent for the appeal, other than an eligible submitter who is not a principal submitter in an appeal under paragraph (c) or (d); and
  - (f) for an appeal to the P&E Court—the chief executive; and
  - (g) for an appeal to a tribunal under another Act—any other person who the registrar considers appropriate.
- (4) The *service period* is—
  - (a) if a submitter or advice agency started the appeal in the P&E Court—2 business days after the appeal is started; or
  - (b) otherwise—10 business days after the appeal is started.
- (5) A notice of appeal given to a person who may elect to be a co-respondent must state the effect of subsection (6).
- (6) A person elects to be a co-respondent by filing a notice of election, in the approved form, within 10 business days after the notice of appeal is given to the person.
- (7) Despite any other Act or rules of court to the contrary, a copy of a notice of appeal may be given to the chief executive by emailing the copy to the chief executive at the email address stated on the department's website for this purpose.



**231 Other appeals**

- (1) Subject to this chapter, schedule 1 and the P&E Court Act, unless the Supreme Court decides a decision or other matter under this Act is affected by jurisdictional error, the decision or matter is non-appealable.
- (2) The *Judicial Review Act 1991*, part 5 applies to the decision or matter to the extent it is affected by jurisdictional error.
- (3) A person who, but for subsection (1) could have made an application under the *Judicial Review Act 1991* in relation to the decision or matter, may apply under part 4 of that Act for a statement of reasons in relation to the decision or matter.
- (4) In this section—
  - (a) conduct engaged in for the purpose of making a decision; and
  - (b) other conduct that relates to the making of a decision; and
  - (c) the making of a decision or the failure to make a decision; and
  - (d) a purported decision; and
  - (e) a deemed refusal.

*non-appealable*, for a decision or matter, means the decision or matter—

- (a) is final and conclusive; and
- (b) may not be challenged, appealed against, reviewed, quashed, set aside or called into question in any other way under the *Judicial Review Act 1991* or otherwise, whether by the Supreme Court, another court, any tribunal or another entity; and
- (c) is not subject to any declaratory, injunctive or other order of the Supreme Court, another court, any tribunal or another entity on any ground.

**232 Rules of the P&E Court**

- (1) A person who is appealing to the P&E Court must comply with the rules of the court that apply to the appeal.
- (2) However, the P&E Court may hear and decide an appeal even if the person has not complied with rules of the P&E Court.

# **Attachment 4**

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Approved Plans



**AUZSCOT CONSTRUCTIONS**

PROJECT: PROPOSED NEW RESIDENCES  
 OWNER: ARID TO OASIS SOLUTIONS PTY LTD T/A AUZSCOT CONSTRUCTIONS  
 LOCATION: LOT 1 ROAD 1 (NAME TBC), CLONCURRY

**COLOUR & MATERIAL SELECTION - CLIENT APPROVAL**

PLEASE COMPLETE BELOW IF YOU HAVE READ & APPROVE OF THESE COLOURS & MATERIALS AS FINAL SELECTIONS.

OPTION (PLEASE TICK):  
 1  PAINTED  
 2  STAINED  
 3  CLEAR  
 4  PAULIC KEELS

ROOF:  WHITE  SHALE GREY   
 ENTRY DOOR:  PAINTED  STAINED  CLEAR  PAULIC KEELS

NAME: PAULIC KEELS  
 SIGNATURE: [Signature]  
 DATE: 21 JULY 2023



DESCRIPTION	COLOUR / PRODUCT DETAILS
ROOF SHEETING	PAINT COLOUR: REFER TO FACADE OPTIONS.
GARAGE WALL	PAINT COLOUR: REFER TO FACADE OPTIONS. GLOSS FINISH.
WALL CLADDING	PRODUCT: JAMES HARDIE LINEA WEATHERBOARD 180mm. PAINT COLOUR: REFER TO OPTIONS. LOW SHEEN FINISH.
WINDOW DOOR ARCHITRAVES	PROFILE: 68x42 PRE-FRIMED ARCHITRAVE AROUND FRONT WINDOW. DOOR TBC BY BUILDER. PAINT COLOUR: DOVER WHITE GLOSS FINISH.
SIDE & REAR WALLS	PAINT COLOUR: TBC BY BUILDER. SUGGEST MAIN FACADE COLOUR. GLOSS FINISH.
FASCIA	PAINT COLOUR: REFER TO FACADE OPTIONS. GLOSS FINISH.
GUTTER	PAINT COLOUR: REFER TO FADE OPTIONS. GLOSS FINISH.
BARGE CAPPING / FLASHINGS	PAINT COLOUR: REFER TO FACADE OPTIONS. GLOSS FINISH.
PORCH TILE	SUPPLIER: NO TILE STYLES TITLE: WINTON WHITE, 400x450 GROUT: MAE110 <i>*To be determined w/ internal finishes sign-off. (Apply to all lots).</i>
DOWNPIPES	VERTICAL & BASE PAINT COLOUR: TO MATCH WALL COLOUR GLOSS FINISH. DROOPER AT FASCIA GLOSS FINISH. PAINT COLOUR: TO MATCH FASCIA COLOUR. GLOSS FINISH.
COLUMNS	BASE FINISH: 200 SERIES BLOCKWORK DRESSED IN STONE CLADDING. STONE CLADDING: NO TILE STYLES SUPPLIER: CHINESE PREVENTIVE PATTERN 200x600 STONE: 4 PIECES OF STONE CLADDING PER BOX. TOP FINISH: 150x150 SHS STEEL POST. PAINT COLOUR: DOVER WHITE GLOSS FINISH. DRESS BOTTOM OF COLUMN WITH FEATURE SHOE.
GARAGE DOOR	STYLE: HAMPTON or CENTURION GEORGIAN PAINT COLOUR: REFER TO FACADE OPTION.
ENTRY DOOR	PRODUCT: HUMES DOORS & TIMBERS STYLE: HAV44 SIZE: CUSTOM - 2400H x 1200W GLASS: CLEAR or OBSCURE FILM. DOOR COLOUR: REFER TO FACADE OPTION. PAINT: LOW SHEEN FINISH or STAINED CLEAR

Cloncurry Shire Council  
 Town Planning  
 Approved with Conditions  
 19 SEP 2023

**DRAWING SCHEDULE**

SHEET NUMBER	SHEET NAME	REVISION	REVISION DATE
WD00	COVER PAGE	A	07.08.2023
WD01	GENERAL NOTES 01-02	A	07.08.2023
WD02	GENERAL NOTES 02-02	A	07.08.2023
WD03	SITE PLAN	A	07.08.2023
WD04	SITE WORKS SET OUT PLAN	A	07.08.2023
WD05	FLOOR PLAN	A	07.08.2023
WD06	ELEVATIONS	A	07.08.2023
WD07	FOOTING PLAN	A	07.08.2023
WD08	TYPICAL SECTION	A	07.08.2023
	BATH & WC LAYOUT PLAN	A	07.08.2023
	DRIVEWAY, SALT & PEPPER	A	07.08.2023
	ENSUITE LAYOUT PLAN	A	07.08.2023
	LAUNDRY LAYOUT PLAN	A	07.08.2023
	ELECTRICAL PLAN	A	07.08.2023
	DRAINAGE PLAN	A	07.08.2023

**DRAWING SCHEDULE Date: 14 / 23**

SHEET NUMBER	SHEET NAME	REVISION	REVISION DATE
WD17	ENSUITE LAYOUT PLAN	A	07.08.2023
WD18	LAUNDRY LAYOUT PLAN	A	07.08.2023
WD19	ELECTRICAL PLAN	A	07.08.2023
WD20	DRAINAGE PLAN	A	07.08.2023

MY DRAFTING CENTRE  
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 E: michae@mydraftingcentre.com.au  
 ABN: 32 258 093 859  
 QBCC: 15372999

MY Drafting Centre  
 Building Design & Drafting

PAINTING CONDITIONS AND PROCEDURES  
 THESE PAINT SPEC'S ARE TO BE USED AS A TRUE INDICATOR OF FINAL SELECTIONS AS APPROVED BY THE CLIENT. HOWEVER, SAMPLES NOT PAINTED ARE AT LEAST 30% GREY. GREY TWO COATS AND TO BE CONFIRMED AFTER VISUALS MATCHES IN THE MORNING, AFTER HONOUR AND NIGHT. NOTE - THIS PROCEDURE CANNOT BE QUANTIFIED NOR PHASED AGAINST THE PROJECT/BUILDER.  
 MY DRAFTING CENTRE & AUZSCOT CONSTRUCTIONS HOLDS NO RESPONSIBILITIES AGAINST THESE FINAL COLOURS & MATERIALS WHICH MAY CAUSE ANY MAINTENANCE COSTS, EXPENSES OR MISINTERPRETATIONS OF SELECTIONS AFTER SIGNING THIS DOCUMENT.

**CONSTRUCTION CRITERIA**

WIND CATEGORY: N2  
 BUILDING CLASS: 1a  
 BUILDING WORK DES: NEW RESIDENCE

**DRAINAGE**

ALL HOUSEHOLD SEWAGE AND WASTE TO BE DISCHARGED TO LOCAL AUTHORITY SEWERAGE MAIN WHEN AVAILABLE. A LOCAL AUTHORITY APPROVED SEPTIC & SYSTEM TO BE INSTALLED IF SEWERAGE MAIN CANNOT BE CONNECTED.  
 DOWNPIPES AND TAP OUTLETS SHOULD BE PROVIDED WITH A CONCRETE SPLASH PAD TO AVOID FLOODING AND EXCESSIVE DAMPING OF THE SOIL. AIR-CONDITIONING CONDENSATION OUTLETS, TOILET OVERFLOW PIPES AND HOT WATER SYSTEM PRESSURE RELIEF OUTLETS ARE ALSO POTENTIAL DRIP PRODUCING SOURCES THAT MUST BE WATCHED.

**SURFACE WATER**  
 SURFACE WATER IS TO DISCHARGE RELATIVELY EVEN BY NATURAL FALL WITHIN THE SITE AND WITHOUT IMPACTING ADJOINING PROPERTY.  
 ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.

**EXCAVATION**

THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE BUILDING IS TO BE GRADED AT 1:20 AWAY FROM THE BUILDING FOR 1000mm AND THEN AT 1:200 TO AN OUTFALL. CUT AND FILL BATTERS ARE NOT TO EXCEED A MAXIMUM SLOPE AS OUTLINED IN THE BCA TABLE 3.1.1.1 FOR THE SITE SPECIFIC SOIL TYPE. REFER ALSO TO BCA CLAUS 3.2.2.4 FOR SLAB EDGE SUPPORT ON SLOPING SITES.

**LANDSCAPING**

TREES MUST BE KEPT WELL AWAY FROM THE BUILDING. RECOMMENDED MIN. DISTANCE OF AT LEAST THE HEIGHT OF A MATURE TREE AND 1.5 TIMES THIS FOR A GROUP OF TREES.  
 THE BUILDER SHOULD INSTRUCT THE OWNER OF THEIR RESPONSIBILITIES FOR MAINTENANCE OF THE AREA AROUND THE BUILDING IN ACCORDANCE WITH CSIRO SHEET No 10-91 ESPECIALLY WITH RESPECT TO SURFACE WATER, TREES AND PLUMBING LEAKS.

**DRIVEWAY FENCING & LANDSCAPING**

- THE PROFILE OF THE VEHICLE ACCESS CROSSOVER IS TO BE AS PER THE LOCAL AUTHORITY REQUIREMENTS.
- IT IS ALSO ADVISED THAT THE DRIVEWAY OUTLINE IS TO BE MARKED OUT & CONFIRMED WITH THE BUILDER BEFORE ANY FRAMEWORK IS UNDERTAKEN. ANY VARIATIONS MUST BE REPORTED BACK TO THE BUILDER & APPROVED BEFORE COMMENCING POUR.
- CONTROL JOINT IS TO BE LOCATED & CUT AT EVERY 3m ON ALL CONCRETE DRIVEWAYS AND PATHS.
- FENCING & LANDSCAPING IS AT THE BUILDERS DISCRETION. AS SUCH, MUST ALL COMPLY & SUBJECT TO LOCAL AUTHORITY GUIDELINES.

**SURVEYING**

- SITE SETBACKS ARE DEEMED TO BE TRUE ACCURATE.
- BUILDING LOCATION IS TO BE CONFIRMED & VERIFIED BY THE BUILDER AGAINST RELEVANT DEVELOPERS & LOCAL AUTHORITY BUILDING ENVELOPES

**SITEWORKS SETOUT**

- THE BUILDER & ALL ASSOCIATED CONTRACTORS ARE TO REFERENCE THESE DRAWINGS AGAINST ALL DOCUMENTED EARTHWORKS & GRADING, SEWER RETICULATION, WATER RETICULATION, ELECTRICAL LAYOUT AND NBN PROVISIONS.

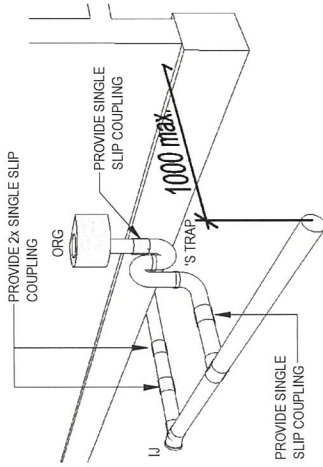
**ENERGY EFFICIENCY**

- ALL HOMES WILL BE 6 STAR, OR MORE, ENERGY EFFICIENCY RATED.

**TERMIITE PROTECTION**

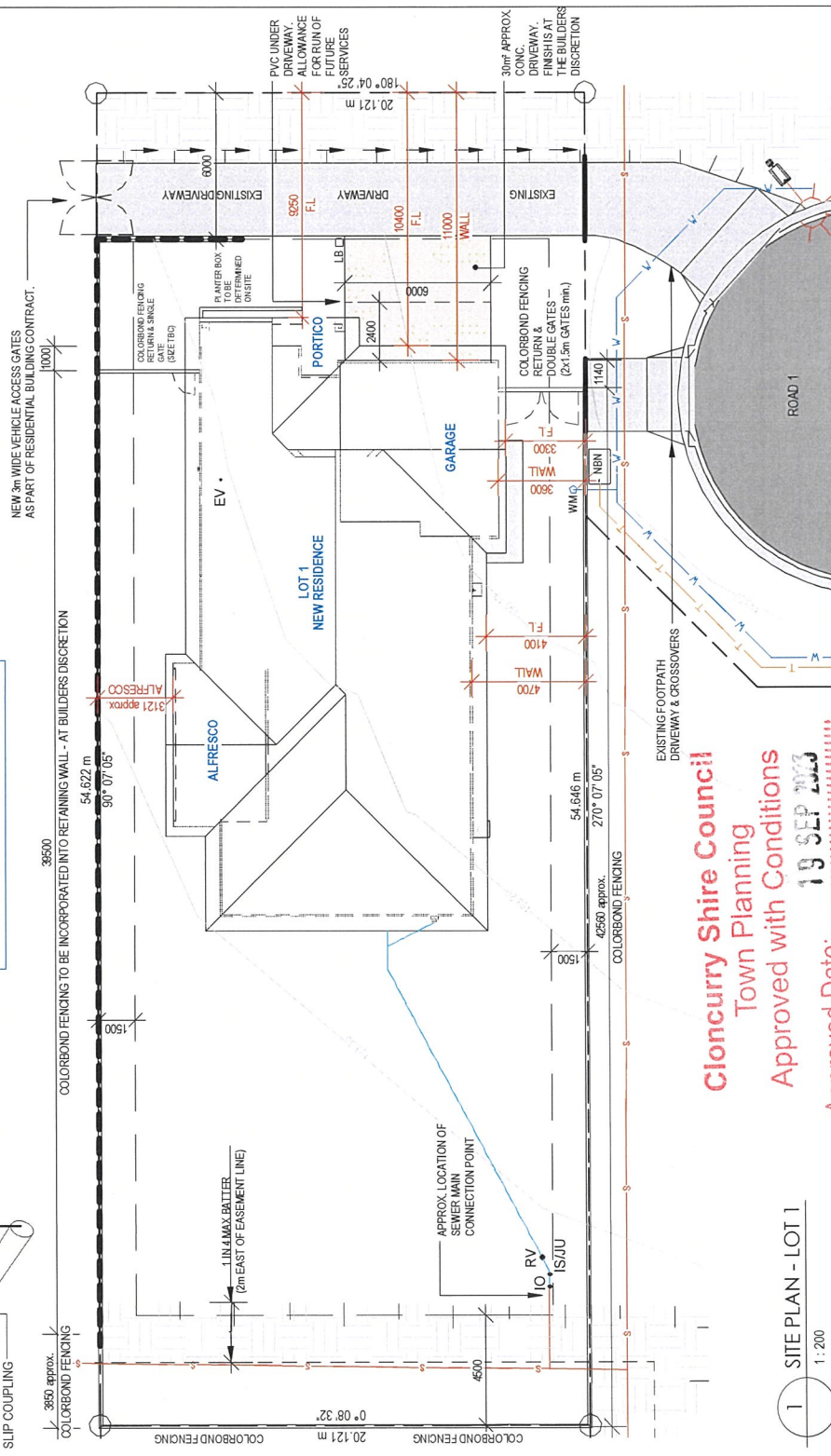
- AS 3680.1-2000. METHOD PHYSICAL BARRIERS. USING KORDON or SIMILAR & VISUAL INSPECTION STRIP TO PERIMETER OF BUILDING TO NCC & AUSTRALIAN STANDARDS.

**GUIDELINE FOR ARTICULATION OF PVC-U DRAINAGE SYSTEM (UNDER FOOTING) SITE CLASSIFICATION (AS 2870): CLASS H & CLASS E.**



ABBREVIATIONS	LEGEND
FL FASCIA LINE	— BUILDING SETBACK ENVELOPE.
SP STORMWATER PIT	— LOCATION OF SEWER MAIN.
WM WATER METER	S — LOCATION OF WATER MAIN.
TP TELSTRA PIT	— SW — LOCATION OF STORMWATER TO KERB & CHANNEL GALVANISED GUTTER CONNECTION TO KERB & CHANNEL.
COMMS COMMUNICATION PIT	— T — LOCATION OF TELECOMMUNICATIONS.
NBN NBN PIT	— PROPOSED LIGHT POLE.
FB FIRE HYDRANT	— PROPOSED RETAINING WALL (HEIGHT 0.2 - 0.7m MAX)
SV STORMWATER VALVE	— ALLOWABLE DRIVEWAY ACCESS.
EB ERGON BOX	— PROPOSED OPEN DRAIN.
LB LETTERBOX	— TOP OF EARTH BATTER.
ST SEPTIC TANK	— BOTTOM OF EARTH BATTER.
MH MANHOLE	— NEW 3m WIDE VEHICLE ACCESS GATES AS PART OF RESIDENTIAL BUILDING CONTRACT.
PP POWER POLE	
LP LIGHT POLE	
T.DEV DEVELOPERS TREE	

THIS DOCUMENT IS TO BE PRINTED IN COLOUR FOR CONSISTENCY WITH PROJECT COORDINATION!



**Cloncurry Shire Council**  
 Town Planning  
 Approved with Conditions  
 19 SEP 2023

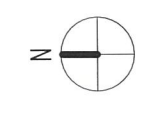


NOTES:  
 - THESE DRAWINGS HAVE BEEN PREPARED TO THE BEST OF OUR KNOWLEDGE AND BELIEF.  
 - VERIFY ALL LEVELS & DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK.  
 - THESE DRAWINGS ARE THE PROPERTY OF MY DRAFTING CENTRE AND SHALL REMAIN THE PROPERTY OF MY DRAFTING CENTRE.  
 - ALL RIGHTS RESERVED. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL AUTHORITY, STATE AND FEDERAL APPROVALS AND PERMITS.  
 - THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL AUTHORITY, STATE AND FEDERAL APPROVALS AND PERMITS.  
 - THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL AUTHORITY, STATE AND FEDERAL APPROVALS AND PERMITS.

ABN: 25 95 692 811  
 GEO: 1527290  
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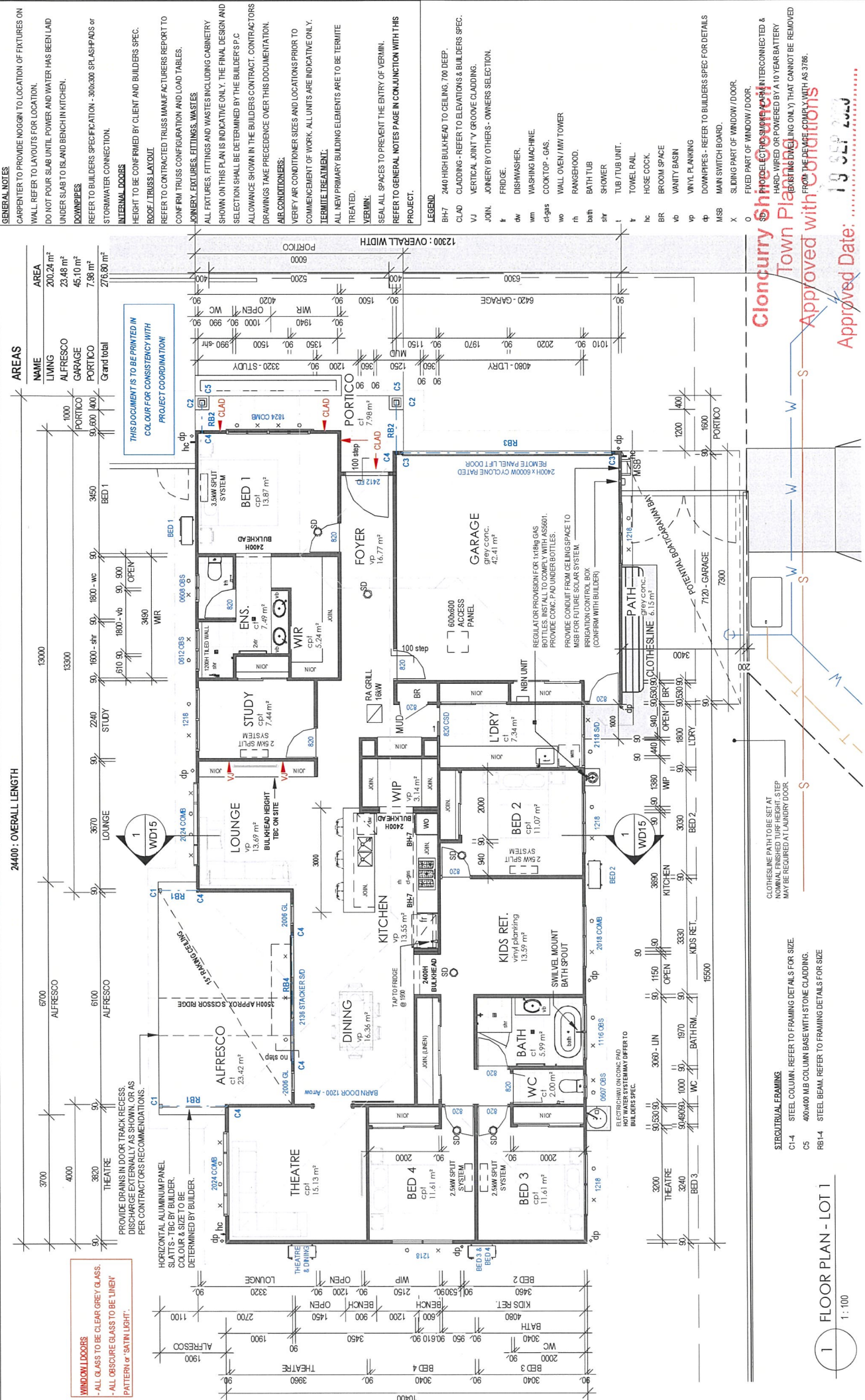
Building Design & Drafting

AUZSCOTR CONSTRUCTIONS



PROJECT No	AC01	TITLE	SITE PLAN
DATE	07.08.2023	DRAWING No	WD03
DRAWN	M.Y.	REVISION	A
DESIGNED	M.Y.	WORKING DRAWING ISSUE	
SCALE	1:200	THIS DRAWING IS ISSUED FOR CONSTRUCTION. PENDING THE APPROVAL AND STAMP BY THE RELEVANT AUTHORITIES. THIS DRAWING SHALL NOT COMMENCE UNTIL THE DRAWING IS STAMPED.	

REV	DESCRIPTION	DATE
1	Issued for Soil Test	11.01.2023
2	Issued for Client Review	06.06.2023
3	Issued for Color & Material Approval	12.07.2023
A	Issued to Client/BUILDER	07.08.2023



**GENERAL NOTES**

CARPENTER TO PROVIDE NOGGIN TO LOCATION OF FIXTURES ON WALL. REFER TO LAYOUTS FOR LOCATION.  
DO NOT POUR SLAB UNTIL POWER AND WATER HAS BEEN LAID UNDER SLAB TO ISLAND BENCH IN KITCHEN.  
**DOWNPIPES**  
REFER TO BUILDERS SPECIFICATION - 300x300 SPLASH PADS or STORMWATER CONNECTION.  
**INTERNAL DOORS**  
HEIGHT TO BE CONFIRMED BY CLIENT AND BUILDERS SPEC.  
**ROOF/TRUSS LAYOUT**  
REFER TO CONTRACTED TRUSS MANUFACTURERS REPORT TO CONFIRM TRUSS CONFIGURATION AND LOAD TABLES.  
**JOINERY, FIXTURES, FITTINGS, WASTES**  
ALL FIXTURES, FITTINGS AND WASTES INCLUDING CABINERY SHOWN ON THIS PLAN IS INDICATIVE ONLY. THE FINAL DESIGN AND SELECTION SHALL BE DETERMINED BY THE BUILDERS SPEC.  
ALLOWANCE SHOWN IN THE BUILDERS CONTRACT. CONTRACTORS DRAWINGS TAKE PRECEDENCE OVER THIS DOCUMENTATION.  
**AIR CONDITIONERS**  
VERIFY AIR CONDITIONER SIZES AND LOCATIONS PRIOR TO COMMENCEMENT OF WORK. ALL UNITS ARE INDICATIVE ONLY.  
**TERMITE TREATMENT**  
ALL NEW PRIMARY BUILDING ELEMENTS ARE TO BE TERMITE TREATED.  
**VERMIN**  
SEAL ALL SPACES TO PREVENT THE ENTRY OF VERMIN.  
REFER TO GENERAL NOTES PAGE IN CONJUNCTION WITH THIS PROJECT.

**LEGEND**

BH-7 2440 HIGH BULKHEAD TO CEILING, 700 DEEP.  
CLAD CLADDING - REFER TO ELEVATIONS & BUILDERS SPEC.  
VJ VERTICAL JOINT V GROOVE GLASSING.  
JOIN JOINERY BY OTHERS - OWNERS SELECTION.  
f FRIDGE.  
dw DISHWASHER.  
wm WASHING MACHINE  
c-h-gs COOK TOP - GAS.  
wo WALL OVEN / AMW TOWER  
th RANGEHOOD.  
bath BATH TUB  
shr SHOWER  
tub / TUB UNIT.  
TOWEL RAIL.  
hc HOSE COCK.  
BR BROOM SPACE  
vb VANITY BASIN  
vp VINYL PLANKING  
msb MAN SWITCH BOARD.  
X SLIDING PART OF WINDOW / DOOR.  
0 FIXED PART OF WINDOW / DOOR.

**AREAS**

NAME	AREA
LIVING	200.24 m <sup>2</sup>
ALFRESCO	23.48 m <sup>2</sup>
GARAGE	45.10 m <sup>2</sup>
PORTRICO	7.98 m <sup>2</sup>
Grand total	276.80 m <sup>2</sup>

*THIS DOCUMENT IS TO BE PRINTED IN COLOUR FOR CONSISTENCY WITH PROJECT COORDINATION!*

**WINDOW DOORS**  
- ALL GLASS TO BE CLEAR GREY GLASS.  
- ALL OBSCURE GLASS TO BE LINED PATTERN or SATIN LIGHT.

**STRUCTURAL FRAMING**  
C1-4 STEEL COLUMN. REFER TO FRAMING DETAILS FOR SIZE.  
C5 400x400 MSB COLUMN BASE WITH STONE CLADDING.  
RB1-4 STEEL BEAM. REFER TO FRAMING DETAILS FOR SIZE.

**NOTES**

- REFER WINDOWS ONLY PROVIDED TO BUILDING AUTHORITY INCLUDING FRAME. VERIFY ALL LEVELS & DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION PRODUCTION OF SHOP DRAWINGS.  
- ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS INDICATED OTHERWISE.  
- ALL MATERIALS TO BE USED SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE (NCC) THE GAS EXHAUSTIVE OPERATING CODE (GEC) THE BUILDING CONTACTS OPERATIONS AND MAINTENANCE CODE (BOM) THE NATIONAL CONSTRUCTION CODE (NCC) AND ALL RELEVANT LOCAL AUTHORITY REGULATIONS AND BY-LAWS.  
- DIMENSIONS UNLESS OTHERWISE SPECIFIED TO FACE UNLESS OTHERWISE SPECIFIED.

**STAIRCASE**  
CLOTHESLINE PATH TO BE SET AT NOMINAL FINISHED TURF HEIGHT. STEP MAY BE REQUIRED AT LAUNDRY DOOR.

**PROPOSED NEW RESIDENCES**

PROJECT: LOT 1 GOLD COURT, CLONCURRY  
CLIENT: TIA OASIS SOLUTIONS PTY LTD  
TIA AUZSCOT CONSTRUCTIONS

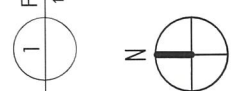
PROJECT No: AC01  
DATE: 07/08/2023  
DRAWN: M.Y.  
DESIGNED: M.Y.  
SCALE: 1:100

TITLE: FLOOR PLAN  
DRAWING No: WD05  
REVISION: A  
**WORKING DRAWING ISSUE**

PROJECT ISSUE & DESCRIPTION  
REV DESCRIPTION  
1 Issued for Soil Test  
2 Issued for Client Review  
3 Issued for Colour & Material Approval  
A Issued to Client/Builder

DATE: 11/01/2023  
DATE: 06/05/2023  
DATE: 12/07/2023  
DATE: 07/08/2023

**Cloncurry Shire Council**  
Town Planning  
Approved with Conditions  
Approved Date: 19 Sep 2023



1 FLOOR PLAN - LOT 1  
1:100

**ELEVATION NOTES:**  
 THESE ITEMS ARE INDICATIVE ONLY.  
 REFER TO THE SPECIFICATION OR SELECTIONS FROM THE BUILDER FOR MORE DETAILS.

**WINDOWS & DOORS**  
 (WD) WINDOW / DOOR  
 PROVIDE APPROPRIATE LINTELS, JAMB STUDS & SILLS AS PER ENGINEERING / STEEL MANUFACTURERS DETAILS.  
 FRAMED PROFILES:  
 SELECTED PROFILE AT THE BUILDER DISCRETION.

**ROOFING**  
 (RF) COLORBOND CUSTOM ORB.  
 PREF ABRICATED LIGHT STEEL FRAMED TRUSSES AS PER MANUFACTURERS DETAILS.  
 PITCH: 25° UNO  
 OVERHANG: 600 TYPICAL  
 GABLES: 30mm TYPICAL.

**WALL EXTERIOR**  
 (WALL) LIGHT STEEL WALL FRAMING - AS PER MANUFACTURERS DETAILS.

**SUGGESTED FINISHES**  
**CLADD** HARDIES 'LINEA' WEATHERBOARD OR 'WEATHEREX' PRIMELOK OR 230mm 'SMOOTH' HARDI-PLANKING - REFER TO BUILDERS SPECIFICATION.  
**BB** REFER FLOOR PLAN FOR LOCATIONS.  
 BLUEBOARD & RENDER  
 OR ANY SIMILAR PRODUCT TO BE USED WITH SMOOTH RENDER FINISH.

**DOWNPIPES**  
 (dp) 90 DIAM. PVC DOWNPIPE QS AS PER BUILDERS SPEC.  
 300x300 SPLASHPAD PAVEN UNDER ALL DOWNPIPES OR CONNECT TO STORMWATER LINE. AT BUILDER DISCRETION.

**SLATTS**  
 (SLAT) HORIZONTAL ALUMINUM PANEL SLATTS - TBC BY BUILDER.  
 COLOUR & SIZE TO BE DETERMINED BY BUILDER.

**ABBREVIATIONS**  
 F.L. MAIN FLOOR LEVEL  
 N.G.L. NATURAL GROUND LEVEL  
 X OPENING IN WINDOW / DOOR  
 O FIRED PART IN WINDOW / DOOR  
 MSB MAIN SWITCHBOARD  
 IB IRRIGATION CONTROL BOX (CONFORM WITH BUILDER)

**ALL HEIGHTS TAKEN FROM MAIN FLOOR LEVEL (M.F.L.) UNO.**  
**THE NATURAL GROUND LEVEL IS PRESUMED TO HAVE 200x300mm FALL FROM FRONT TO BACK OF HOUSE.**  
**BUILDER / CONCRETE CONTRACTOR IS TO SET ABOVE HIGHEST GROUND LEVEL AFTER SITE SCRAPE OR AFTER CUT AND FILL IS COMPLETED AND COMPACTED.**  
**KEEP ALL FLOOR EDGES TRUE TO LINE & MEASUREMENTS.**  
**FALL ALL EXTERNAL FLOORS TO OUTSIDE EDGES.**

**Cloncurry Shire Council**  
**Town Planning**  
**Approved with Conditions**

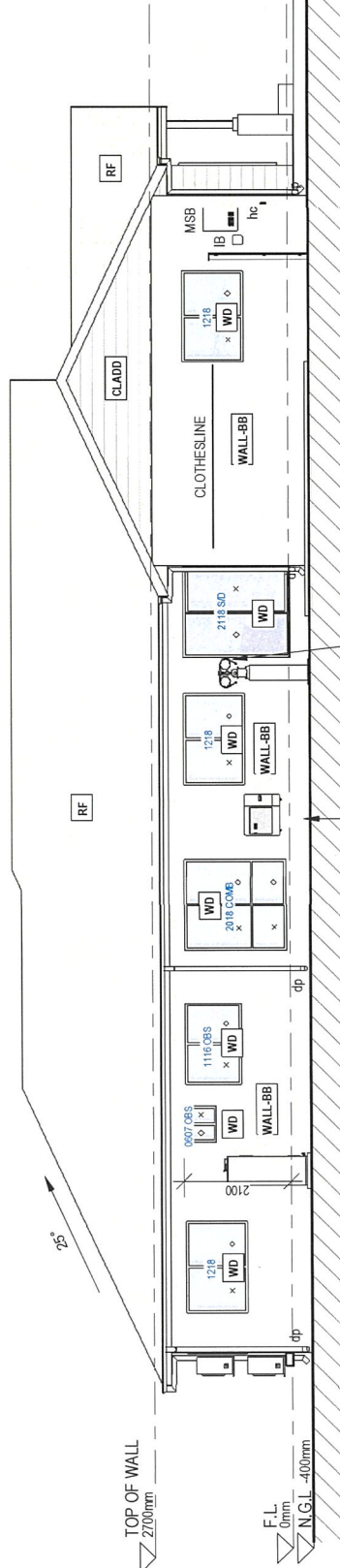
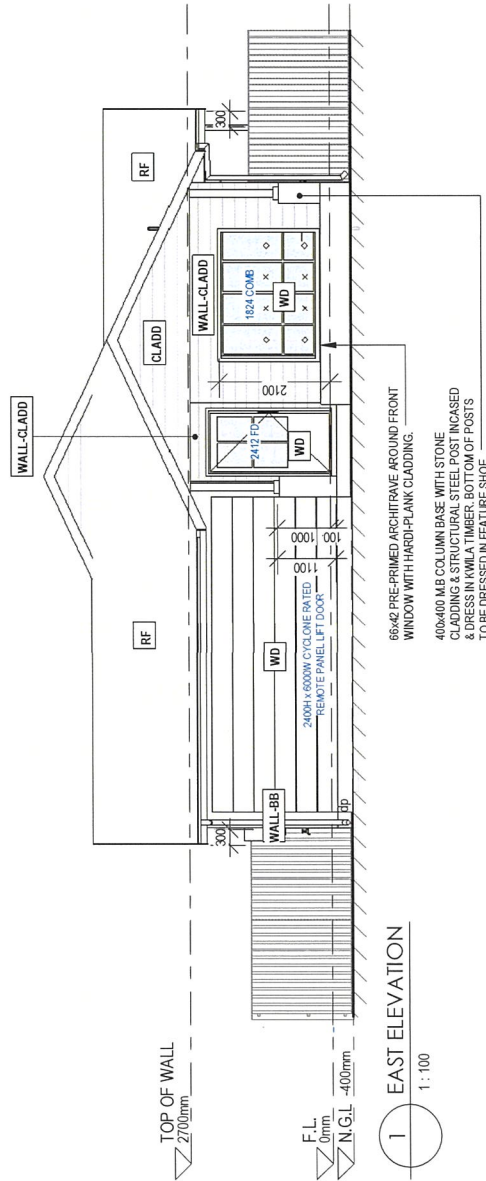
**Approved Date:** 19 SEP 2023

**TP 14 / 23**

DATE	PROBLEM / ISSUE / DESCRIPTION
11.01.2023	1 Issued for Soil Test
06.05.2023	2 Issued for Client Review
12.07.2023	3 Issued for Check & Material Approval
07.08.2023	A Issued to Client/Buyer

PROJECT No.	AC01
DATE	07.08.2023
DRAWN	M.Y.
DESIGNED	M.Y.
SCALE	1:100

**WORKING DRAWING ISSUE**  
 THIS DRAWING IS ISSUED FOR CONSTRUCTION PERIODING THE APPROVAL AND STAMP BY THE RELEVANT APPROVING AUTHORITY. WORK SHALL NOT COMMENCE UNTIL THE DRAWING IS STAMPED.



TITLE	ELEVATIONS
DRAWING No.	WD06
REVISION	A

**PROJECT**  
**PROPOSED NEW RESIDENCES**  
**PROJECT LOCATION**  
**LOT 1 GOLD COURT, CLONCURRY**  
**CLIENT DETAILS**  
**ARID TO OASIS SOLUTIONS PTY LTD**  
**TIA AUZSCOT CONSTRUCTIONS**

**NOTES:**  
 -THESE DRAWINGS ARE ONLY INTENDED TO BE USED FOR INFORMATIONAL PURPOSES.  
 -EVERY FLOOR PLAN SHALL BE SUBMITTED TO THE LOCAL COUNCIL PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR PRODUCTION OF SHOP DRAWINGS.  
 -ALL DIMENSIONS AND CONSTRUCTION DETAILS SHALL BE IN ACCORDANCE WITH THE CURRENT BUILDING CODE OF PRACTICE AND THE RELEVANT CITY, COUNCIL AND STATE REGULATIONS.  
 -THESE DRAWINGS ARE THE PROPERTY OF TIA AUZSCOT CONSTRUCTIONS AND SHALL NOT BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF TIA AUZSCOT CONSTRUCTIONS.

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 Lic: 041755404  
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**ELEVATION NOTES:**  
 THESE ITEMS ARE INDICATIVE ONLY.  
 REFER TO THE SPECIFICATION or SECTIONS FROM THE BUILDER FOR MORE DETAILS.

**WINDOWS & DOORS**  
 (WD) WINDOW / DOOR.  
 PROVIDE APPROPRIATE LINTELS, JAMB STUDS & SILLS AS PER ENGINEERING / STEEL MANUFACTURERS DETAILS.  
 FRAMED PROFILES.  
 SELECTED PROFILE AT THE BUILDER DISCRETION.

**ROOFING**  
 (RF) COLORBOND CUSTOM ORB.  
 PREFABRICATED LIGHT STEEL FRAMED TRUSSES.  
 AS PER MANUFACTURERS DETAILS.  
 PITCH: 25° UNO  
 OVERHANG: 600 TYPICAL.  
 GABLES: 300mm TYPICAL.

**WALL EXTERIOR**  
 (WALL) LIGHT STEEL WALL FRAMING - AS PER MANUFACTURERS DETAILS.

**SUGGESTED FINISHES**  
**CLADD** HARDES' LINEA WEATHERBOARD or WEATHEREX 'PRIME' OK or 230mm "SMOOTH" HARD-PLANKING - REFER TO BUILDERS SPECIFICATION.  
 REFER FLOOR PLAN FOR LOCATIONS.

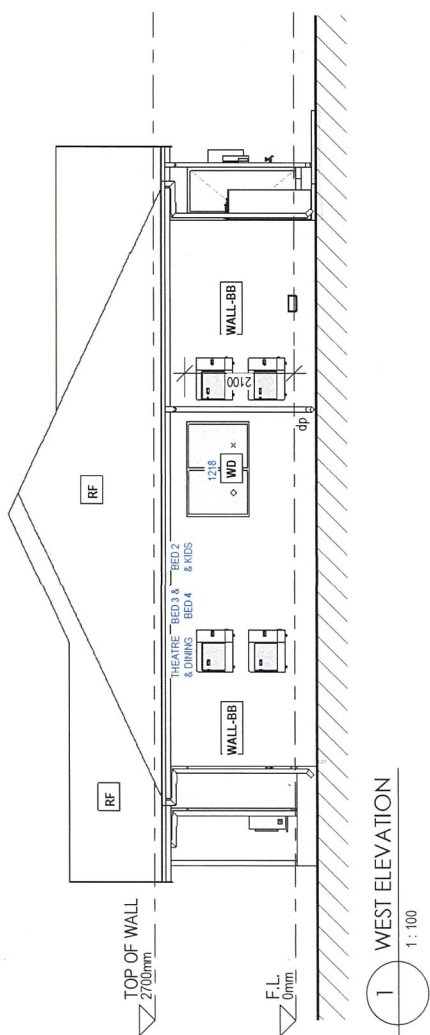
**BB** BLUEBOARD & RENDER  
 or ANY SIMILAR PRODUCT TO BE USED WITH SMOOTH RENDER FINISH.

**DOWNPIPES**  
 (dp) 90 DIAM. PVC DOWNPIPE Q&S PER BUILDERS SPEC.  
 300x300 SPLASHPAD PAVEMENT UNDER ALL DOWNPIPES or CONNECT TO STORMWATER LINE, AT BUILDER DISCRETION.

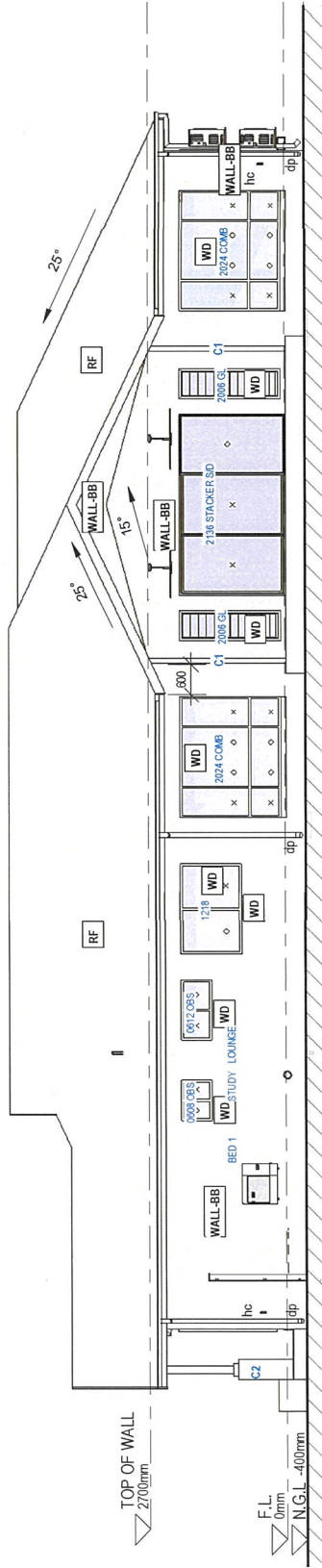
**SLATTS**  
 (SLAT) HORIZONTAL ALUMINIUM PANEL SLATTS - T&G BY BUILDER.  
 COLOUR & SIZE TO BE DETERMINED BY BUILDER.

**ABBREVIATIONS**  
 F.L. MAIN FLOOR LEVEL  
 N.G.L. NATURAL GROUND LEVEL  
 X OPENING IN WINDOW / DOOR.  
 O FIKED PART IN WINDOW / DOOR.  
 M.SB MAIN SWITCH BOARD  
 IB IRRIGATION CONTROL BOX (CONFIRM WITH BUILDER)

ALL HEIGHTS TAKEN FROM MAIN FLOOR LEVEL UNO.  
 THE NATURAL GROUND LEVEL IS PRESUMED TO HAVE 200-300mm FALL FROM FRONT TO BACK OF HOUSE.  
 BUILDER / CONCRETE CONTRACTOR IS TO SET ABOVE HIGHEST GROUND LEVEL AFTER SITE SCRAPE or AFTER CUT AND FILL IS COMPLETED AND COMPACTED.  
 KEEP ALL FLOOR EDGES TRUE TO LINE & MEASUREMENTS.  
 FALL ALL EXTERNAL FLOORS TO OUTSIDE EDGES.



1 WEST ELEVATION  
 1:100



2 NORTH ELEVATION  
 1:100

**Cloncurry Shire Council**  
 Town Planning  
 Approved with Conditions

Approved Date: 19 SEP 2023

**TP 14 / 23**

PROJECT No	AC01	TITLE	ELEVATIONS
DATE	07.08.2023	DRAWING No.	WD07
DRAWN	M.Y.	REVISION:	A
DESIGNED	M.Y.	PROJECT ISSUE & DESCRIPTION 1 Issued for Soil Test 2 Issued for Client Review 3 Issued for Colour & Material Approval 07.08.2023 12.07.2023 07.08.2023	
SCALE	1:100	WORKING DRAWING ISSUE THIS DRAWING IS ISSUED FOR CONSTRUCTION PENDING THE APPROVAL AND STAMP BY THE RELEVANT APPROVING AUTHORITY. WORK SHALL NOT COMMENCE UNTIL THIS DRAWING IS STAMPED.	

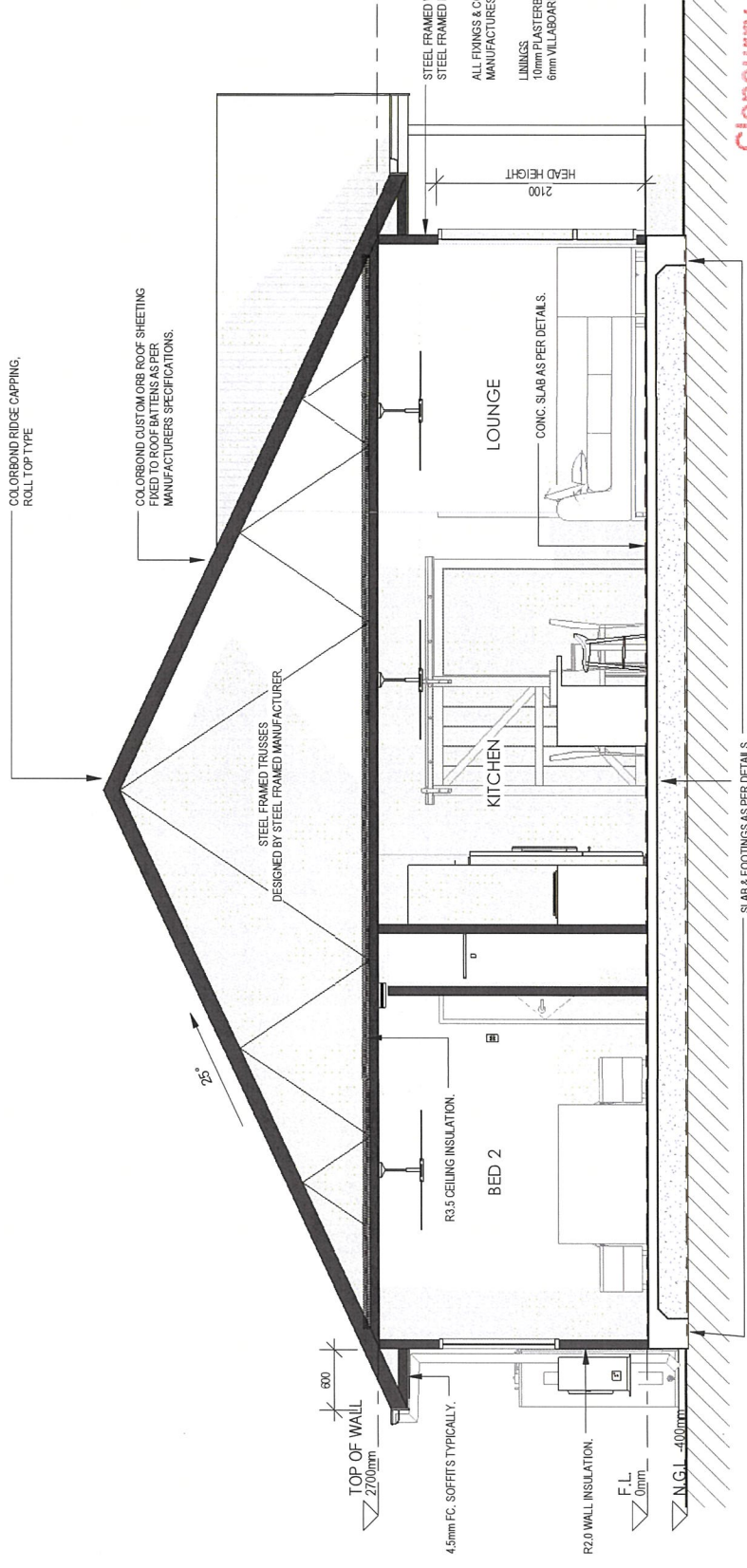
NOTES:  
 - THESE DIMENSIONS ONLY REFER TO THE PRESENCE OVER SCALE.  
 - ALL HEIGHTS TAKEN FROM MAIN FLOOR LEVEL UNO.  
 - THE NATURAL GROUND LEVEL IS PRESUMED TO HAVE 200-300mm FALL FROM FRONT TO BACK OF HOUSE.  
 - BUILDER / CONCRETE CONTRACTOR IS TO SET ABOVE HIGHEST GROUND LEVEL AFTER SITE SCRAPE or AFTER CUT AND FILL IS COMPLETED AND COMPACTED.  
 - KEEP ALL FLOOR EDGES TRUE TO LINE & MEASUREMENTS.  
 - FALL ALL EXTERNAL FLOORS TO OUTSIDE EDGES.

PROJECT: PROPOSED NEW RESIDENCES  
 PROJECT LOCATION: LOT 1 GOLD COURT, CLONCURRY  
 CLIENT DETAILS: ARID OASIS SOLUTIONS PTY LTD  
 TIA AUZSCOT CONSTRUCTIONS

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 QBCO - 157 2999  
 Mob: 0417558014  
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**AUZSCOT CONSTRUCTIONS**

**SECTION LAYOUT**

ROOFCEILING BATTENS & TRUSSES SHOWN ARE DIAGRAMMATIC ONLY.  
 BUILDER TO SPECIFY PREFERRED METHOD OF BATTENS WHILE INSURING  
 MANUFACTURERS SPECS. ARE ADOPTED.



**Cloncurry Shire Council**  
 Town Planning  
 Approved with Conditions

Approved Date: **19 SEP 2023**  
**TP**

REV	DESCRIPTION	DATE
1	Issued for Soil Test	11.01.2023
2	Issued for Client Review	08.06.2023
3	Issued for Colour & Material Approval	12.07.2023
	Issued to Client/Builder	07.08.2023

PROJECT No.	AC01
DATE	07.08.2023
DRAWN	M.Y.
DESIGNED	M.Y.
SCALE	1:50

TITLE	TYPICAL SECTION
DRAWING No.	WD15
REVISION	A

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**PROJECT:** PROPOSED NEW RESIDENCES  
**PROJECT LOCATION:** LOT 1 GOLD COURT, CLONCURRY  
**CLIENT DETAILS:** ARID TO OASIS SOLUTIONS PTY LTD  
**TIA:** AUZSCOT CONSTRUCTIONS

**NOTES:**  
 - THESE DIMENSIONS ONLY REFERRED TO WITHIN LOCAL AUTHORITY REQUIREMENTS.  
 - VERIFY ALL LEVELS & DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR PRODUCTION OF SHOP DRAWINGS.  
 - ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS NOTED OTHERWISE.  
 - ALL RELEVANT LOCAL AUTHORITY, STATE & NATIONAL CONSTRUCTION CODES (R2018) ARE TO BE FOLLOWED.  
 - THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT LOCAL AUTHORITY.  
 - THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE RELEVANT LOCAL AUTHORITY.  
 - DO NOT SCALE DIMENSIONS FOR DIMENSIONS TO BE PRECISE OVER SCALE.

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 QCC: 1517290  
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1 SECTION  
 1:50



ELECTRICAL SCHEDULE		
FAMILY	TYPE	COUNT
Brush Plate	300H	3
Brush Plate	1400H	3
Ceiling Fan	1200 WHITE	11
Data Socket Outlet	DS-300H	11
Data Socket Outlet	DS-1400H	3
Double Socket Outlet	300H	24
Double Socket Outlet	800H	1
Double Socket Outlet	1000H	3
Double Socket Outlet	1100H	3
Double Socket Outlet	1400H	4
Double Socket Outlet	1800H	1
Double Socket Outlet	DW	1
Double Socket Outlet	HMU	1
Double Socket Outlet	W	2
Double Socket Outlet	WM	41

ELECTRICAL SCHEDULE		
FAMILY	TYPE	COUNT
Light Switch	LS	4
Light Switch	LS	17
Single Socket Outlet	GT	21
Single Socket Outlet	FR-1900H	1
Single Socket Outlet	MW	1
Single Socket Outlet	Panel Lift Door	1
Single Socket Outlet	RH	1
Single Socket Outlet	WO (HM)	1
TV Socket Outlet	TV-1400H	6
TV Socket Outlet	TV-1800H	1
TV Socket Outlet	TV-1800H	5

LIGHTING FIXTURE SCHEDULE		
FAMILY	TYPE	COUNT
Fluorescent Batten Light - Single	LED	2
Fluorescent Batten Light - Single	LED - WALL MOUNTED	1
LED Downlight	LED	46
Pendant Light	WP	1
Spotlight (Sensor) - Double	P	2
Thermally 3 IN 1	S	1
Thermally 3 IN 1	3 IN 1	2

MECHANICAL EQUIPMENT SCHEDULE		
FAMILY	TYPE	COUNT
2.5kW SPLIT SYSTEM	Cooling Only	4
3.5kW SPLIT SYSTEM	Cooling Only	1
RA GRILL	18KW	1

\* REVERSE CYCLE TO BE CONFIRMED BY CLIENT / BUILDER.

\* ALL GPO's 300H UNLESS NOTED OTHERWISE

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
MSB	MAIN SWITCH BOARD
D	240 VOLT TYPE IC LED DOWNLIGHT
D -	DENOTES DIMMER
WP -	DENOTES WATERPROOF
SL -	SILVER LOOK
S -	DENOTES SENSOR
1438	WATT ENERGY EFFICIENT LIGHT
2438	WATT ENERGY EFFICIENT LIGHTS
FO - F	SELECTED FEATURE LIGHT
LED FLOOD LIGHT	- SINGLE OR DOUBLE
S -	DENOTES SENSOR
CABINETRY LIGHTS	
X <sup>2</sup>	LIGHT SWITCH
4	DENOTES TWO WAY
4 GANG SOCKET OUTLET	
DOUBLE SOCKET OUTLET	
WEATHER PROOF DOUBLE SOCKET OUTLET	
DOUBLE SOCKET OUTLET WITH DUAL USB SOCKET	
SINGLE SOCKET OUTLET	
CT -	COOKTOP
HW -	HARD WIRED
RH -	RANGEHOOD
MW -	MICROWAVE
FR -	FRIDGE UNIT
FRZ -	FREEZER UNIT
OV -	OVEN
W-HMU	WEATHERPROOF POINT, HOT WATER UNIT.
BRUSH PLATE (NOMINATED HEIGHTS) INCL. PULL CORD	
SINGLE DATA SOCKET OUTLET	
SMOKE DETECTOR - HARD WIRED	
EXHAUST FAN	
1200 - 1400 CEILING FAN	
WHITE - WHITE FAN	
316 SIS - 316 STAINLESS STEEL FAN	

**SUSTAINABLE BUILDING REQUIREMENTS**

**GENERAL NOTES**

CONTRACTED ELECTRICIANS TO COMPLY WITH ALL RELEVANT AUSTRALIAN STANDARDS AND CODES.

**ENERGY EFFICIENT LIGHTING:**

LIGHT EMISSION DIODES (LED), COMPACT FLUORESCENT LIGHTS (CFL'S) AND FLUORESCENT TUBES ARE TO BE USED IN 80% OF THE TOTAL AMOUNT OF LIGHT FITTINGS.

APPLIES TO NEW HOUSES, TOWNHOUSES OR UNITS (CLASS 1 & 2 BUILDINGS), AND FOR EXISTING HOUSE, TOWNHOUSE OR UNIT UNDERGOING AN ALTERATION OR EXTENSION, THE ENERGY EFFICIENT LIGHT APPLIES TO THE AREA COVERED BY THE NEW BUILDING WORK.

**HOT WATER SUPPLY:**

A HOT WATER SUPPLY IS PROVIDED BY:

(A) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM THAT IS ELIGIBLE TO RECEIVE.

(B) IN A BUILDING WITH 3 OR MORE BEDROOMS, AT LEAST 22 RENEWABLE ENERGY CERTIFICATES (REC)

(C) IN A BUILDING WITH 1 OR 2 BEDROOMS, AT LEAST 14 RENEWABLE ENERGY CERTIFICATES

OR

(D) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING.

**CEILING PENETRATIONS:**

THE TOTAL NUMBER OF CEILING FANS, LIGHTING AND CEILING PENETRATIONS ARE ESSENTIAL TO COMPLY WITH RELEVANT ENERGY EFFICIENCY REQUIREMENTS.

**AIR CONDITIONERS:**

VERIFY AIR CONDITIONER SIZES & LOCATIONS PRIOR TO COMMENCEMENT OF WORK. ALL UNITS ARE INDICATIVE ONLY.

**EXHAUST FANS:**

EXHAUST FANS INSTALLED IN KITCHEN, BATHROOM TOILET OR LAUNDRY MUST BE DUCTED TO THE OUTSIDE OR DUCTED INTO A VENTILATED ROOF SPACE.

REFER TO GENERAL NOTES PAGE IN CONJUNCTION WITH THIS PROJECT.

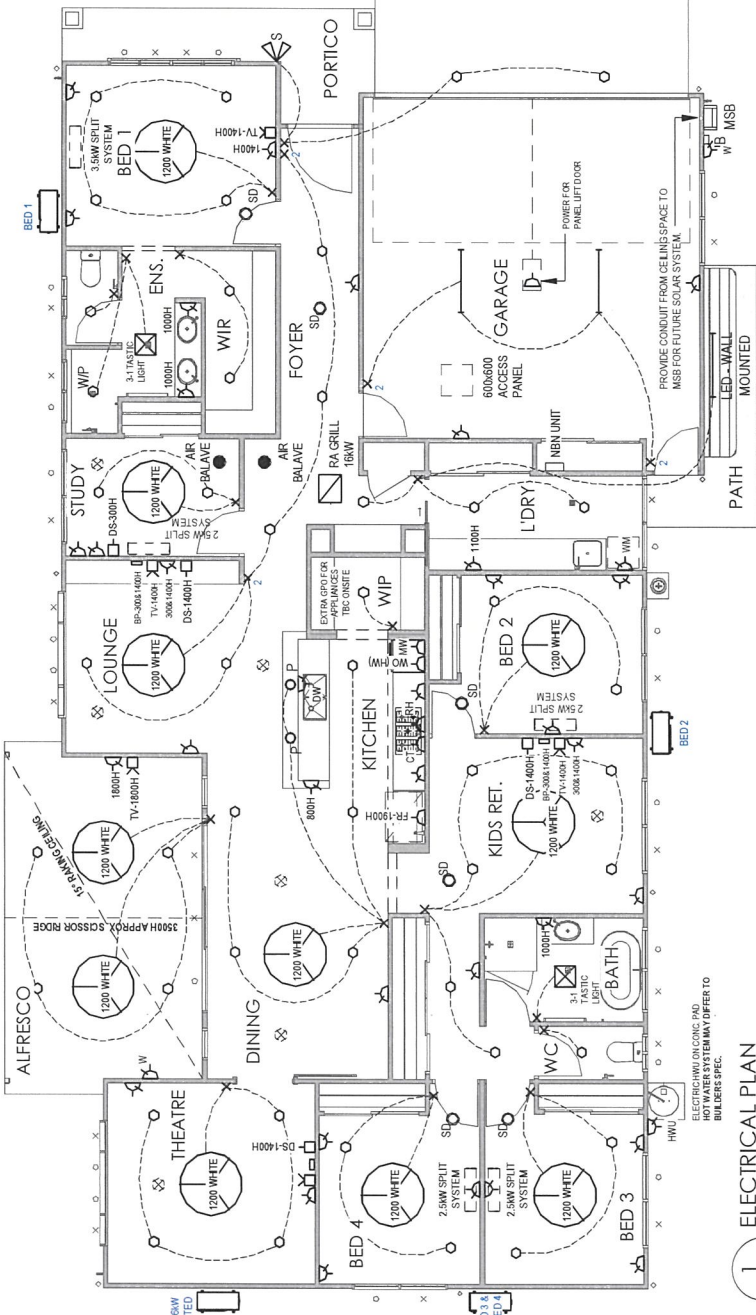
**FEATURE / PENDANT LIGHTS**

CONFIRM HEIGHT & LOCATION ON ALL FEATURE / PENDANT LIGHTS WITH CLIENT ON SITE.

**SPECIAL CONDITIONS**

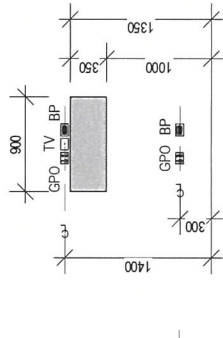
\$1. THE CLIENT & BUILDER IS TO VERIFY ALL ELECTRICAL, LIGHTING & MECHANICAL FITOUT AS PROVIDED IN THIS DRAWING. IF THERE IS ANY ADDITIONAL WORK, ALTERATIONS OR UNFORSEEN FITOUT THAT IS NOT ON THESE DRAWINGS THE RESPONSIBILITY IS AT THE BUILDER / CLIENT'S EXPENSE.

\$2. IF IN THE EVENT A CONTRACTOR'S ELECTRICAL PLAN IS PROVIDED FOR THIS PROJECT, IT IS AT THE RESPONSIBILITY OF THE CLIENT & BUILDER TO DETERMINE IF THIS DRAWING BY MY DRAFTING CENTRE IS RELEVANT OR REQUIRED.



1 ELECTRICAL PLAN  
1:100

2 TV NOGGIN & POINTS  
1:50



PROJECT No	AC01
DATE	07/08/2023
DRAWN	M.Y.
DESIGNED	M.Y.
SCALE	As indicated

**PROPOSED NEW RESIDENCES**

PROJECT LOCATION  
LOT 1 GOLD COURT, CLONCURRY

CLIENT DETAILS  
ARD TO OASIS SOLUTIONS PTY LTD  
TIA AUZSCOT CONSTRUCTIONS

NOTES

- ALL DIMENSIONS ARE REFERRED TO CENTER UNLESS OTHERWISE SPECIFIED.

- VERIFY ALL DIMENSIONS AND SPACES PRIOR TO COMMENCEMENT OF ANY WORK.

- ALL ELECTRICAL WORK MUST BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL ELECTRICAL REGULATIONS (NER).

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Building Design & Drafting

**auzscot CONSTRUCTIONS**  
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**Cloncurry Shire Council**  
Town Planning  
Approved with Conditions

Approved Date: 19 SEP 2023

**TP 14 / 23**

PROJECT ISSUE / DESCRIPTION	DATE
REV 1 Issued for S/N Test	11/01/2023
REV 2 Issued for Client Review	06/05/2023
REV 3 Issued for Client & Member Approval	12/07/2023
REV 4 Issued to Client/Builder	07/08/2023

THIS DRAWING IS ISSUED FOR CONSTRUCTION PENDING THE APPROVAL AND STAMP BY THE RELEVANT APPROVING AUTHORITY. WORK SHALL NOT COMMENCE UNTIL THIS DRAWING IS STAMPED.